

20C.40.10 Downtown Districts.

20C.40.10-010 Purpose.

The purpose of this division of the Community Development Guide is to implement the Downtown vision and policies as described in the Comprehensive Plan. The Downtown neighborhood - less than one square mile in size - contains a series of sub-neighborhoods or districts. These individual districts will continue to develop as distinctly different places within the Downtown, characterized by different building heights, designs and land uses, distinctive entrance corridors, streetscapes, roadway designs, landscaping, and amenities. This variety maintains diverse and easily recognizable districts that draw people to them and are easy to navigate through. The Downtown neighborhood is divided into 12 districts entitled "Valley View", "Bear Creek", "Trestle", "Sammamish Trail", "Town Square", "Old Town", "Anderson Park", "River Bend", "River Trail", "East Hill", "Carter", and "Town Center." They are shown on the map entitled "Downtown Districts", included in this section. The intent of each of the districts is as set forth below.

20C.40.10-020 Old Town (OT)

The Old Town district is comprised of the original downtown and includes a number of historic structures and gathering places. The Old Town district is established to be a center of pedestrian-oriented retail activity in the Downtown neighborhood. The regulations shaping development in this district provides for an urban village pattern and rhythm which encourages narrow ground floor store fronts, small blocks, narrow streets with curbside parking, mixed use residential/office/service buildings, and pedestrian scale architecture. The regulations also encourage the enhancement of existing older buildings in Old Town with small ground floor retail spaces, characterized by narrow bay spacing complementary to pedestrian activity and interest, and office or residential spaces in upper stories. The pedestrian nature of the area is emphasized through lower parking requirements and plans for creation of parking lots/structures in a few central locations at the edge of these areas. This district provides for a full range of retail uses such as specialty and comparison shopping, eating and entertainment establishments, as well as general and professional services, and residential uses. (Ord. 1901)

20C.40.10-030 Town Center (TWNC)

Town Center is one of the City's primary gathering places. Its mix of shops and restaurants, offices, hotel rooms and conference facilities, and eventually residences in the heart of the City is intended to bring people together during the day and evenings for planned or casual meetings. The design of the buildings, street patterns, and public plazas are modern yet reflect the historic district in adjacent Old Town. Improvements in walking connections between the two districts will help both areas thrive. The long-term vision for Town Center is that it will continue to develop as a major gathering and entertainment place within the community, that its trails will be connected to Marymoor Park by a grade separated connection across SR 520, and that transit service to and from the center will provide a choice equal in attractiveness to automobiles, walking, and biking. The design and development of this district is controlled by a Master Plan established to ensure that development here integrates with and positively influences future redevelopment of the greater downtown area, and retains traditional building styles, street patterns, variety of uses, and public amenities.

20C.40.10-040 Valley View (VV), Trestle (TR), and Bear Creek (BC)

The convenience commercial areas of Downtown include the Valley View, Trestle, and Bear Creek districts. These three districts are located at the major entrances to the Downtown to conveniently serve shoppers both within, and from, outside the neighborhood. These districts are intended to provide for everyday, basic shopping needs and services such as groceries, pharmacies, and other convenience retail goods and services that are easily accessed by pedestrians, bicyclists, and motor vehicles. Land uses and redevelopment in the area should be compatible with shopping and service needs of the community and surroundings, as well as with the long term Downtown vision of encouraging a more pedestrian-supportive, mixed-use environment in these districts.

20C.40.10-050 Sammamish Trail (SMT), Town Square (TSQ), Anderson Park (AP), and River Bend (RB).

The Downtown neighborhood contains four distinct mixed-use residential/office districts, all intended to provide for significant residential growth, as well as opportunities for growth in professional, business, health, and personal services. The distinction between the districts is reinforced through variations in design and development standards and minor variations in land use. These districts provide for a range of employment uses such as financial and professional services, public administrative offices, health services, advanced technology industries, universities and technical colleges, and other activities normally conducted in multi-story office structures. These districts are intended as areas for the densest employment and residential uses in the Downtown, but also provide for supporting retail, service, and entertainment uses located within walking distance of each other. Some of the quieter streets in these districts allow residential uses on the ground floor, whereas the primary streets are intended for active, pedestrian friendly and activating commercial uses. (Ord. 1901)

20C.40.10-060 River Trail (RVT), Carter (CTR), and East Hill (EH)

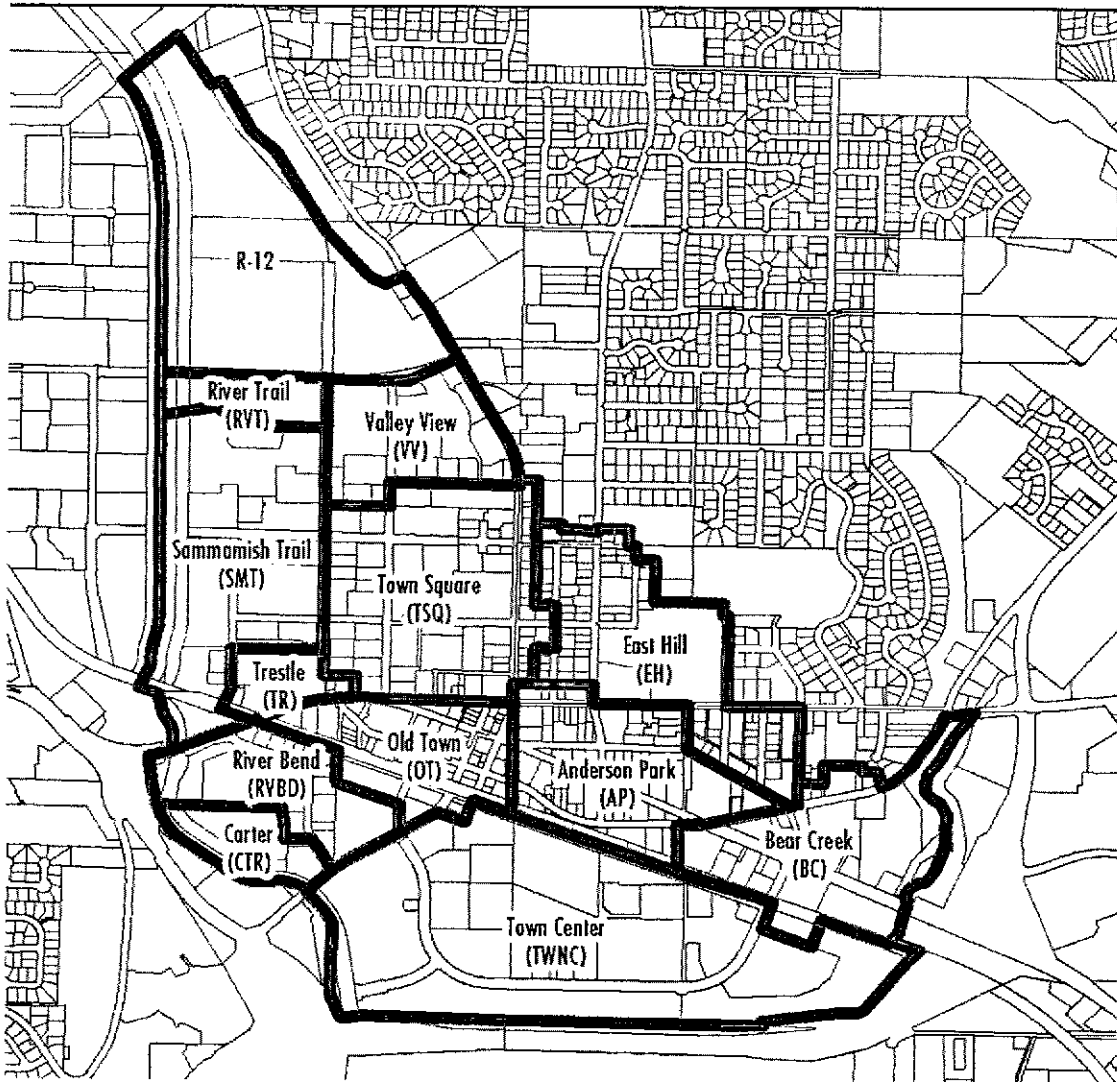
Downtown includes three residential districts at the periphery of the neighborhood that are intended to retain a quieter “residential” character than the other nearby mixed-use areas. These districts will provide a variety of housing types that are not primarily mixed-use, in developments that include more typical residential features such as front yards, landscaping, and ground related patios and porches. These areas are all located within walking distance to the various retail and service areas in the Downtown.

20C.40.20 Permitted Land Uses.

20C.40.20-010 Permitted Land Uses Chart.

The chart entitled, “Downtown Permitted Land Uses” is incorporated as a part of the subsection. It indicates land uses permitted within the different districts shown on the Downtown Districts Map (RCDG 20C.40.20-015), in conjunction with the general land use definitions in RCDG 20C.40.20-020 and other restrictions related to these uses. The districts are established as set forth in RCDG 20C.40.10. (Ord. 1901)

20C.40.20-015 Downtown Districts Map.



**Downtown Districts
20C.40.20-015**

20C.40.20-020 Downtown Definition of Uses.

For purposes of administering the Downtown Permitted Land Uses Chart, the following definitions should be used. All new development shall meet applicable design standards and guidelines.

- (1) **General Service Uses.** General services are professional, commercial and public activities conducted in offices and storefronts, without outdoor storage needs, including but not limited to lodging, personal services, business and financial services, advanced technology uses that are compatible in terms of noise/vibration impacts and hazards with adjoining multi-story office and residential buildings, minor repair services, entertainment and recreation services, theaters, health services, social services, legal services, educational services and cultural services. Customer and tenant parking structures and surface lots are considered accessory to the primary use. Services excluded from this definition are uses such as industrial laundries and dry cleaning, junk yards, industrial testing laboratories, warehousing/storage and similar uses which are considered industrial uses.
- (2) **General Retail Uses.** General retail uses are establishments engaged in selling merchandise to the general public for personal or household consumption; processing of products does not occur or is only a minor part of use (for example; restaurants, butcher shops, breweries with taverns, art studios, etc.). This category also includes food stores, apparel, furniture and home furnishings, home improvement goods including carpeting, lighting, cabinets, plumbing fixtures; large and small durable goods for family and office use such as appliances, office furniture and supplies; eating and drinking places; and general merchandise. This category does not include uses with outdoor storage and display. Customer and tenant parking structures and surface lots are considered accessory to the primary use.
- (3) **Public Facilities and Local Utilities.** Public facilities include governmental administrative offices, libraries, parks, police and fire stations, educational institutions, cultural facilities, community or senior centers, and parking structures. See RCDG 20A.20.120 for definition of Local Utilities. (Ord. 1901)

20C.40.20-030 Permitted Land Uses.

Downtown Permitted Land Uses Chart

Land Use	Downtown District					
	Old Town (OT), Anderson Park (AP)	Town Center (TWNC) ⁵	Valley View (VV), Trestle (TR), Bear Creek (BC)	Sammamish Trail (SMT), Town Square (TSQ)	River Bend (RB)	River Trail (RVT), Carter (CTR), East Hill (EH)
Retail¹²						
General (except those below) ^{3,6}	P	P	P	P ^{1,1a}	P ^{1c}	P ^{1b}
Automobiles/Boats with Outdoor Storage of Vehicles ¹⁰					S	
Gasoline ¹²			P		P	
Vending Carts/Kiosks ⁹	S	S ^{9a}	S ^{9a}	S ^{9a}	S ^{9a}	
Services¹²						
General (except those below) ^{3,6}	P	P	P	P	P	P ¹⁴
Family Day Care (1 – 6 children)	P	P	P	P	P	P
Mini Day Care (7 – 12 Children) Day Care Center (13+ Children)	S	S	S	S	S	S
Preschools, Schools, Universities, Technical Colleges	P	P	P	P	P	
Minor Auto Repair		S	S		S	
Repair: Electrical Appliances, Motors, and Furniture, Machine Shops			P		P	
Repair and Rental: Electronic Equipment, Stereo, Video, and Watches	P	P	P	P	P	
Residential						
Multi-Family and Townhouses ⁷	P ⁸	P	P ⁸	P ⁸	P ⁸	P
Senior Housing ⁴	P ⁸	P	P ⁸	P ⁸	P ⁸	P
Other Uses¹²						
Public Facilities and Local Utilities ⁶	P	P	P	P	P	P
Banks with Multiple Drive- Through Facilities			P ^{2,11}			
All Other Drive-Through Facilities			P ²			
Large Satellite Dishes/Amateur Radio Antenna(s) ¹³	S	S	S	S	S	S
Broadcast and Relay Towers ¹³	C	C	C	C	C	C
Wireless Communication Facilities ¹³	S	S	S	S	S	S
P = Permitted Use; S = Special Use; C = Conditional Use						

Notes:

¹ No single-story retail permitted except (through December 31, 2023) on (a) the south block of NE 83rd Street between 158th Avenue NE and 160th Avenue NE (i.e., Lots 2 and 3 of Lot Line Revision 90-01) and (b) the portions of Lot 6 of the Redmond Center Plat lying west of 158th Avenue NE if extended south. RCDG 20D.40.110 (rather than RCDG 20D.40.115) shall apply to single-story retail development within those two areas except that RCDG 20D.40.110-020(1)(c) shall not apply to the above-referenced portions of Lot 6 of the Redmond Center Plat and except that RCDG 20D.40.110-020(1)(a) shall not apply to the above referenced portion of the south block of NE 83rd Street. In multi-story buildings, retail is permitted on the ground floor, but is not required. Restaurants, taverns, and delicatessens are allowed on any floor. Nonconforming single-story uses may be expanded per RCDG Title 20F.

^{1a} Same as footnote 1 above, except single-story sit-down restaurant and entertainment uses not less than 5,000 square feet GFA, and single-story master planned festival retail development adjoining and orienting to the river are permitted. No surface parking shall be located between the building and the Sammamish River.

^{1b} In the East Hill district General Retail uses may only occupy single-family structures in existence prior to the year 2005 provided: 1) Required parking for the use is not located in the front yard and the parking and driveway areas do not expand beyond the year 2005 recorded parcel; 2) The exterior of the structure, accessory structures, and landscaping maintain a single-family character; and 3) Storage of all products is kept indoors and accessory buildings do not exceed 60% of the ground floor area of the main structure.

^{1c} Same as 1 above, except single-story home and office improvement retail uses selling items such as furniture, fixtures, lighting, and carpet are allowed.

² Drive-through facilities shall have a minimum queuing distance of 120 feet which is not within the public right-of-way or on-site circulation aisles. A landscape buffer between the drive-through lane and the street shall be provided.

³ Adult Entertainment is not permitted Downtown. See RCDG 20D.20.10.

⁴ Governed by RCDG 20D.30.15, Senior Housing Development – Density Bonus.

⁵ All new development shall comply with the adopted Town Center Master Plan and Design Guidelines.

⁶ On-site hazardous waste treatment and storage facilities permitted with a Special Use Permit provided that State siting criteria are met as set forth in Chapter 70.105 RCW. If the associated permitted use requires a Conditional Use Permit, consideration of the treatment and storage facility shall be subject to the same Conditional Use Permit process and conditions.

⁷ Maximum density per lot dependent upon size and width of lot, per the Downtown Site Requirements Chart.

⁸ Not permitted on ground floor street fronts of Type V Pedestrian streets (see RCDG 20C.40.105 Downtown Pedestrian System Map), or where ground floor residences may be negatively impacted by nearby non-residential uses, except through establishment of an Administrative Design Adjustment per RCDG 20C.40.40. Residential uses may be allowed on ground floor street fronts of Type Va Pedestrian streets per RCDG 20C.40.78, Ground Floor Residential Uses on Type Va Pedestrian Streets, but not within the shorter distance of 100 feet or ¼ block length from a street intersection.

⁹ Subject to Special Uses Criteria, RCDG 20D.170.35, Carts and Street Vendors.

^{9a} Within the shoreline jurisdiction of Bear Creek and the Sammamish River, vending carts and kiosks associated with a water-enjoyment use are permitted, subject to the special use standards in RCDG 20D.170.35. (SMP)

¹⁰ Subject to Special Uses Criteria, RCDG 20D.170.20, Automobile, RV, and Boat Uses.

¹¹ Subject to Special Uses Criteria, RCDG 20D.170.25, Banks with Drive-Through Facilities. Banks without drive-through facilities are regulated as General Services.

¹² Please see RCDG 20D.140.10-220, Prohibited Activities in Wellhead Protection zones, and RCDG 20D.140.10-300, Wellhead Protection Zone Performance Standards.

¹³ Subject to Special Use Criteria, RCDG 20D.170.45, Telecommunications Facilities.

¹⁴ General Services are allowed only on the ground floor of multi-story mixed use residential buildings. Except, General Service uses may occupy existing single-family structures provided: 1) On-site parking is not located in the front yard; 2) The exterior of the structure and landscaping maintains a single-family character; and 3) The use is consistent with Comprehensive Plan policies for the district.

(Ord. 2102; Ord. 2051; Ord. 1954; Ord. 1945; Ord. 1930; Ord. 1901)

20C.40.30 Reserve

20C.40.35 Height Limit Overlay Area.

20C.40.35-010 Purpose.

The purpose of this division is to establish special building height limits in areas within the Downtown:

- (1) To provide transitions in building heights near district boundaries that border lower height districts; or
- (2) To preserve the character of the historic Leary Way corridor. (Ord. 2080; Ord. 1901)

20C.40.35-020 Building Height Restrictions.

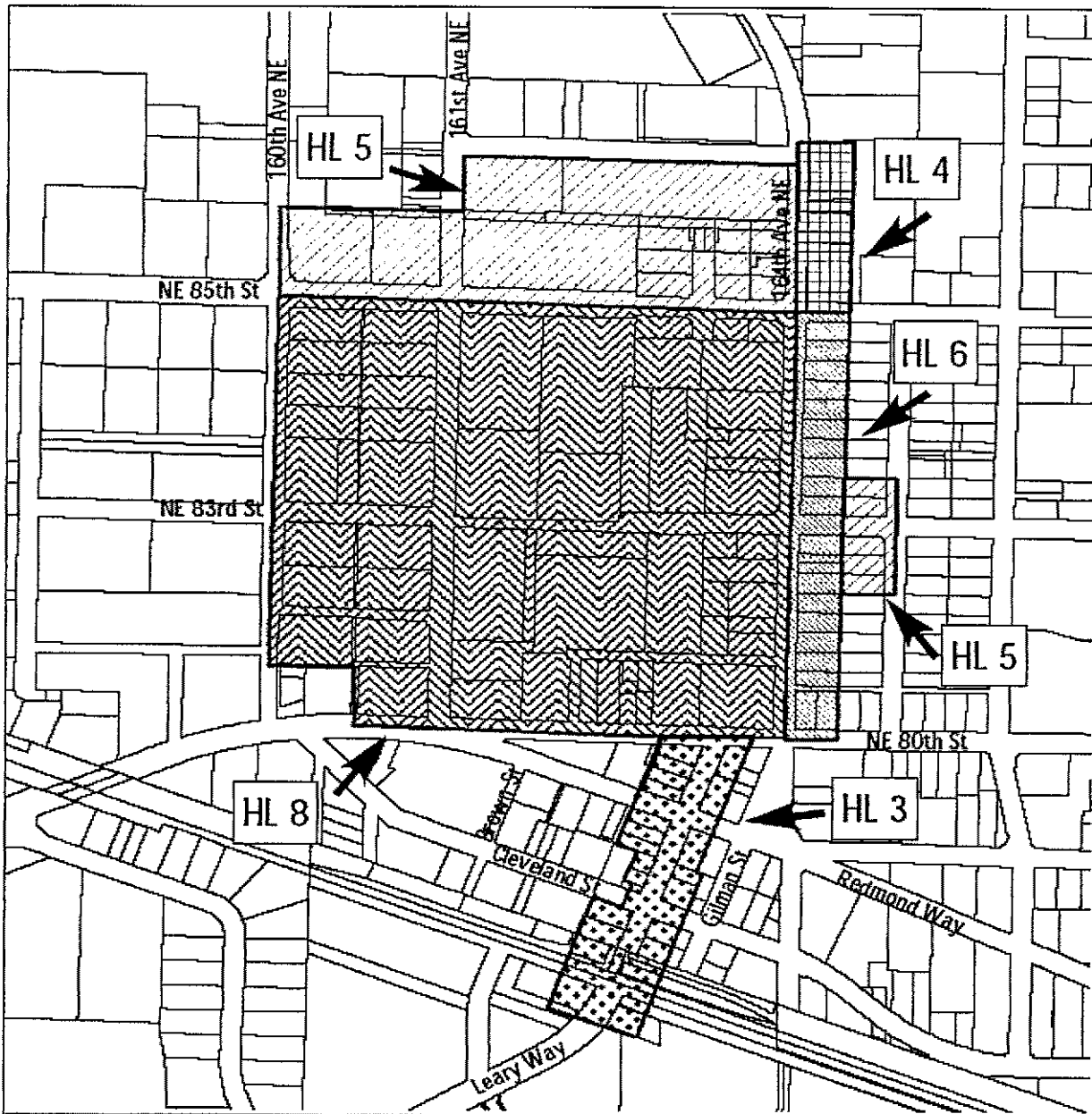
Building height restrictions within the Height Limit Overlay (HL) areas shall be as indicated on the Height Limit Overlays Map. The designation HL followed by a number indicates the maximum number of floors allowed. (Ord. 2080; Ord. 1901) The limits within the overlay areas may not be exceeded with the use of bonuses or Transfer Development Rights.






20C.40.35-030 Permitted Uses.

Any use permitted in the underlying districts shall be permitted in the building overlay area. (Ord. 1901)

20C.40.35-040 General Provisions.

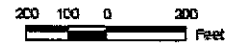
Development shall not exceed the building height restrictions indicated on the Height Limit Overlays Map, RCDG 20C.40.35. For all other development standards, the standards of the underlying districts shall apply. (Ord. 2080; Ord. 1901)



- Legend
Height Limits
-  8 Stories
 -  6 Stories
 -  5 Stories
 -  4 Stories
 -  3 Stories



Downtown Height Limit Overlays 20C.40.35-020



Effective ##/##/2006

20C.40.40 Site Requirements.

20C.40.40-010 General.

Except as otherwise provided in this section, all applicable provisions of the Community Development Guide and other applicable codes and ordinances apply to development in the Downtown Districts. (Ord. 1901)

20C.40.40-020 Site Requirements.

The Downtown Site Requirements Chart, RCDG 20C.40.40-045, sets forth other dimensional and site requirements for districts within Downtown as shown in the Downtown Districts Map, RCDG 20C.40.20-015. Each structure, development, or activity in the district must comply with these requirements. (Ord. 1901)

20C.40.40-030 Administrative Design Flexibility (ADF).

The purpose of this section is to promote creativity in site layout and design, and to allow flexibility in the application of standards for commercial, office, retail, mixed use, and residential development within the Downtown Neighborhood, and to achieve the creation of sites and uses that may benefit the public by the application of special design policies and standards not otherwise possible under conventional development regulations and standards. Departure from standards included in this section may be permitted as part of the Site Plan Entitlement process.

- (1) Deviations from these standards may be allowed if an applicant demonstrates that the deviations from the standards would result in a development that:
 - (a) Better meets the intent of the goals and policies for the design area in which the site is located;
 - (b) Is superior in design in terms of architecture, building materials, site design, landscaping and open space; and
 - (c) Provides benefit to the Downtown Neighborhood in terms of desired use, activity, and design.
- (2) ADF – Flexibility of Design Standards in Downtown. Requirements of RCDG Title 20C, Land Use Regulations that may be modified by application of this subsection are defined specifically as follows:
 - (a) Parking Lot Location. Requirements for the location of on-site parking lots may be modified within the development (except for parking within residential yard areas) to provide for greater joint-use and quasi-public parking opportunities and uses which are highly desirable in the subject design area.
 - (b) Mid-Block Pedestrian Walkways and Vehicular Lanes. Requirements for mid-block pedestrian and vehicular lanes per RCDG 20C.40.105, Downtown Pedestrian System, may be modified to allow variations in locations and minimum widths for these items to provide superiority in site design and function which benefits both the property owner and public.

- (c) Street standards for townhouse subdivision developments.
- (d) Other Site Requirements and Standards. All other site requirements and standards for Downtown except density, number of stories, and FAR may be modified within the development to provide superiority in site design, i.e. greater amounts of privacy, maintenance of views, preservation of vegetation, provision of usable open space, adequate light, air, and security. (Ord. 1901)

20C.40.40-040 Maximum FAR and Height without TDRs.

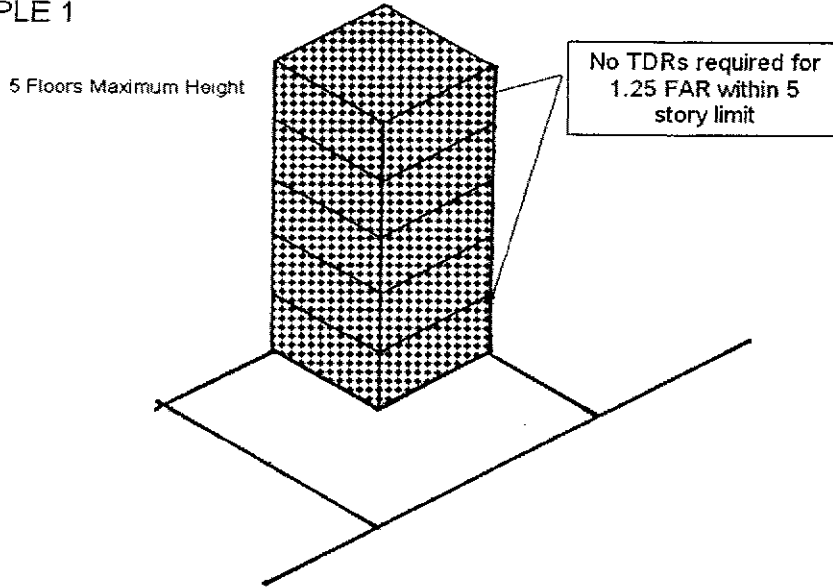
(1) This section, in conjunction with RCDG 20C.40.40-045 Downtown Site Requirements Chart, sets a maximum floor area ratio (FAR) for all Downtown developments, unless the development transfers floor space through the Transfer of Development Rights (TDR) program authorized by RCDG 20D.200. The maximum FAR applies to the gross floor area of all buildings on the site, excluding parking areas for motor vehicles which are not maintained as a stock in trade. See Exceptions and Examples below.

(2) Exceptions.

- (a) Regardless of the maximum FAR without TDRs allowed in RCDG 20C.40.40-045 Downtown Site Requirements Chart, all buildings shall be allowed at least 10,000 square feet of gross floor area. It shall not be necessary to transfer development rights to the site under the Transfer of Development Rights program to be entitled to the minimum amount of 10,000 square feet of space allowed by this subsection. (Ord. 1901)
- (b) Transfer Development Rights are not required for residential floor area within the maximum building height.
- (c) Buildings may add one floor beyond the maximum building height standard through the use of TDRs for height per RCDG 20D.200, Transfer and Purchase of Development Rights (TDR) Program. See also RCDG 20C.40.35-020, Building Height Restrictions.

EXAMPLES: The examples below illustrate whether Transfer Development Rights (TDRs) are required or not.

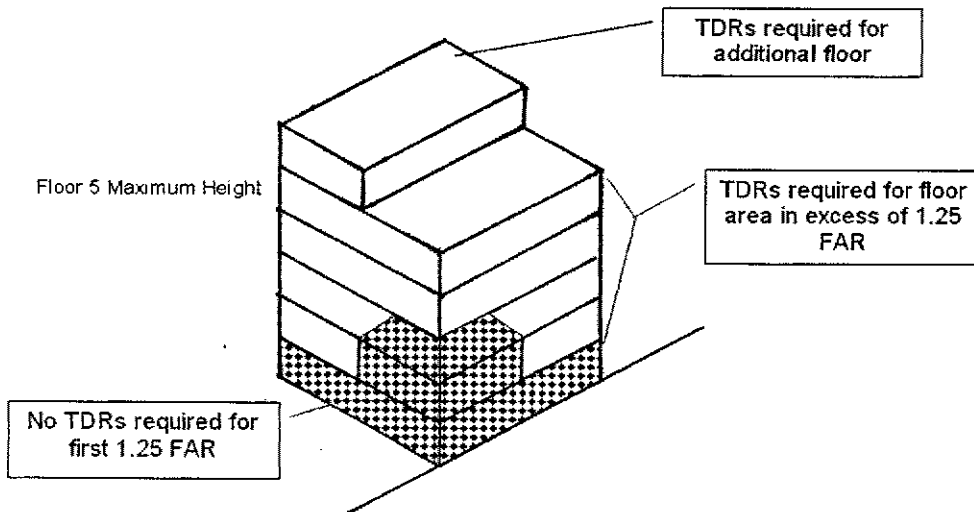
EXAMPLE 1



COMMERCIAL BUILDING

1. A maximum Floor Area Ratio (FAR) of 1.25 commercial floors is the maximum development that can be achieved without purchasing TDRs, as the first 1.25 FAR is exempt from TDR requirements.

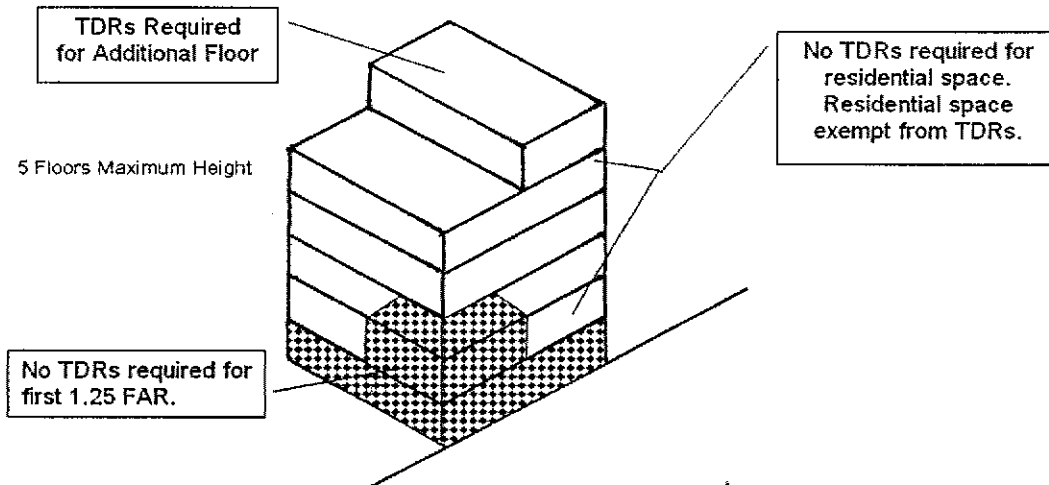
EXAMPLE 2



COMMERCIAL BUILDING

2. A 5-story, 5.0 FAR commercial building can be achieved by purchasing TDRs for the floor area in excess of 1.25 FAR (shaded floor area in diagram). A 6-story, 5.50 FAR commercial building can be achieved by purchasing TDRs for the additional 6th floor area.

EXAMPLE 3



MIXED-USE RESIDENTIAL BUILDING

3. Residential floor area is exempt from TDR requirements per paragraph (b) above. The area that is not shaded represents residential floor area in a mixed-use building. Additionally, the first 1.25 FAR is exempt from TDR requirements. Where 5-stories is the maximum allowed height, a 6th story may be added with the purchase of TDRs for the additional floor area above the 5th floor (one additional floor only).

20C.40.40-045 Site Requirements.

Downtown Districts Site Requirements Chart

DOWNTOWN DISTRICTS	Old Town	Town Center	Valley View Bear Creek Trestle	Town Square	Sam-mamish Trail Anderson Park	River Bend	River Trail East Hill Carter
DESIGN CRITERIA	See Ch. 20D.40	See Ch. 20D.40	See Ch. 20D.40	See Ch. 20D.40	See Ch. 20D.40	See Ch. 20D.40	See Ch. 20D.40
Residential Densities Maximum Number of Dwelling Units Per Gross Acre	See Table 20C.40.45-020	See Table 20C.40.45-020	See Table 20C.40.45-020	See Table 20C.40.45-020	See Table 20C.40.45-020	See Table 20C.40.45-020	See Table 20C.40.45-020
Minimum Yard Setbacks							
Front Street (in feet) ¹	14' ^{2, 2a}	See footnote ³	20' ^{1a, 2a}	14' ^{2, 2a}	14' ^{2, 2a}	20' ^{2a, 2b}	25' ^{2a}
Side Street (in feet) ¹	14' ²	See footnote ³	20' ^{1a}	14' ²	14' ²	20' ^{2c}	25'
Side Yard (in feet) ^{1b}	0'	See footnote ³	0'	0'	0'	0' ^{2c}	See RCDG 20C.40.55-050
Side Yard (in feet) – Residential uses	See 20C.40.55-050	See 20C.40.55-050	See 20C.40.55-050	See 20C.40.55-050	See 20C.40.55-050	See 20C.40.55-050	See 20C.40.55-050
Rear Yard (in feet) ^{1b}	0'	See footnote ³	0'	0'	0'	0' ^{2c}	10'
Rear Yard (in feet) – Residential uses above ground floor commercial	10'	10' ³	10'	10'	10'	10' ^{2c}	10'
Yard Adjoining Residential District (in feet)	5'	5' ³	5'	5'	5'	5' ^{4, 2c}	5'
Yards adjoining BNSF ROW or parks	14'	14'	14'	14'	14'	14'	14'
Between Buildings On-Site (in feet)	N/A	See footnote ³	N/A	N/A	N/A	N/A	2 times Side Yard
Parking	See footnote ⁵	See footnote ³	See footnote ⁵	See footnote ⁵	See footnote ⁵	See footnote ⁵	See RCDG 20C.40.85
Maximum Building Height (Stories) ^{9, 9a}	5 ^{9b, 14}	See footnotes ^{8, 9b}	2 ¹⁰	5 ^{6, 7, 9b}	5	5	4
Maximum Building Height Within Shorelines ^{9c, 9d}	35'	35'	35'	n/a	35'	35'	35'
Lot Coverage ^{11a, 11b}	100%	See footnotes ^{11, 1}	80%	100%	100%	100%	See Table 20C.40.45-020
Parking Spaces Required	See 20D.130 ¹²	See 20D.130	See 20D.130 ¹³	See 20D.130	See 20D.130 ^{12, 13}	See 20D.130	See 20D.130
Maximum FAR without TDRs See RCDG 20C.40.40	1.25	See footnote ¹⁵	1.0	1.25	1.25	1.25	1.25

Notes:

Ordinance No. 2302, Exhibit A

¹ Measured from back of curb. See also RCDG 20C.40.105, Downtown Pedestrian System. See also RCDG 20D.210.25, Sight Clearance at Intersections.

^{1a} Thirty feet, if designated per RCDG 20C.40.105, Downtown Pedestrian System.

^{1b} Measured from property line. In case of alley, measured after dedication, if necessary.

² On streets fronting Type V pedestrian walkways per RCDG 20C.40.105, 14 feet is the average required. Building fronts shall be developed to the sidewalk and/or plaza edges.

^{2a} Front setback for residential use above ground floor commercial shall be regulated by RCDG 20C.40.105, Downtown Pedestrian System.

^{2b} Where a grove of trees (six or more significant trees within a quarter-acre area) lie along a street front, the setback shall be 100 feet. Otherwise, the setback shall be per RCDG 20C.40.105, Downtown Pedestrian System requirements.

^{2c} Where a grove of trees (six or more significant trees within a quarter-acre area) lie along the westerly design area boundary, the setback shall be 30 feet. Otherwise, the setback shall be zero feet.

³ All new development shall comply with the adopted Town Center Master Plan and Design Guidelines.

⁴ Within 100 feet of adjoining Residential districts, bay doors other than for loading may not open directly toward (without a building in between) the residential district.

⁵ Governed by RCDG 20D.130.10-030(15), Parking Garages.

^{5a} Same as Footnote 5 above, except standards apply regardless of Pedestrian System Type, and RCDG 20D.130.10-030(15)(d) does not apply.

⁶ Five stories is maximum height without bonus. Bonus to 8 stories granted for provision of 20 percent on-site usable open space in the form of plazas/arcades with water features that are accessible to public during extended business hours, public meeting rooms, day care services, or the preservation of historic buildings or sites. The amenities shall be on the project site or within the design district in which the building is located. Such approval shall be granted through the site plan review process. TDRs may not be used to exceed the 8 story height allowed through these bonuses.

⁷ Height limit overlay districts may apply; see RCDG 20C.40.35, Height Limit Overlay Zones.

⁸ Mixed Use area: 4 stories; hotel – 6 or 8 stories with meeting, conference and banquet facilities. Office Park area: five stories. Bear Creek Retail Area: three stories. Mixed-use residential – or residential use in Town Center: 5 stories outright. The Technical Committee shall administratively allow the height in the Mixed Use overlay area to be increased to 6 stories if the building facade is recessed above the second floor and building modulation is provided to mitigate the bulk and mass from the additional height allowance.

⁹ Heating, cooling, and ventilation equipment, elevator penthouses, rooftop exits, and flag poles may exceed the height limit by not more than an average of 15 feet. Building designs with extra-tall parapet walls or architectural features may be allowed with Design Review Board approval.

^{9a} The maximum building height on a site may be exceeded, as a trade-off, when building height reductions are required at the building edges, along a street or park, to achieve better design and stepped building height through the Design Review Process. The amount of floor area that is allowed to exceed the prescribed maximum building height (without Transfer Development Rights or Bonuses) shall not exceed the floor area that was removed or omitted to create the stepping building façade, and shall not exceed 1 additional floor above the maximum prescribed building height.

^{9b} One floor of additional height may be achieved with the use of Transfer Development rights per RCDG 20D.200, Transfer Development Rights, except they may not be used to exceed 8 stories

where 8 stories is allowed through bonus provisions. See also RCDG 20C.40.40-040, Maximum FAR and Height without TDRs, and RCDG 20C.40.35-020, Building Height Restrictions.

^{9c} Water-enjoyment uses within the shoreline jurisdiction may exceed this height limit up to a maximum of 60 feet, or the maximum specified by the underlying zone, whichever is less, when approved through a Shoreline Conditional Use Permit. (SMP)

^{9d} This height limit is restricted to that portion of the building physically located within the shoreline jurisdiction. (SMP)

¹⁰ The maximum height may be increased to four stories when the site's development plan can demonstrate the goals and objectives outlined in Comprehensive Plan Policy DT-49, and the design guidelines outlined in RCDG 20D.40.110-020 (3) are met through the Site Plan Entitlement process.

¹¹ Governed by RCDG Title 20B, Downtown Element, Town Center District Goals and Policies, and Town Center Master Plan and Design Guidelines.

^{11a} For residential development without ground floor commercial/office, lot coverage shall be governed by RCDG 20C.40.40-020.

^{11b} Lot coverage percentage equals: The total site area measured to the property line, less pedestrian systems measured to the curb line, on-site sidewalks, landscaping, and plazas, divided by the site area measured to the curb line.

¹² A density bonus for contribution to In-Lieu Parking Fund is available per RCDG 20D.130.10-040.

¹³ Surface parking is prohibited within 150 feet of the river's top-of-bank.

¹⁴ When properties front on Leary Way and are within the 3 Stories Height Limit Overlay shown on the Downtown Height Limit Overlays map, RCDG 20C.40.35-020; the maximum building height shall be three stories.

¹⁵ The maximum gross leasable area of allowed commercial space without TDRs is 1.49 million square feet. The 1.49 million square feet limit may be increased to a maximum of 1.80 million square feet through the acquisition and use of TDRs, provided that TDRs may not be used to increase the height of the full service hotel/conference center above 8 stories/100 feet, and that a minimum of 140,000 square feet be reserved for a full service hotel/conference center with banquet and meeting facilities to accommodate groups of at least 300 people. The additional square footage allowed may be used for infill retail and general service uses that are part of mixed use residential developments or infill developments. Floor area for residential uses is exempt from TDR requirements and maximum commercial floor area limitations.

(Ord. 2114; Ord. 2080; Ord. 2051; Ord. 1992; Ord. 1901)

20C.40.40-050 RESERVE

20C.40.45 Residential Development in Downtown Districts.

20C.40.45-010 Purpose.

All residential development in Downtown Districts shall comply with the density and development standards indicated in RCDG 20C.40.40-045, Downtown Site Requirements Chart, except where otherwise specified. Residential uses shall be permitted in Downtown Districts as indicated in RCDG 20C.40.20-030 Downtown Permitted Land Uses Chart. Residential developments within the districts shall also comply with the following criteria. (Ord. 1901)

20C.40.45-020 Downtown Residential Density Chart.

- (1) In order to ensure that appropriate bulk and height relationships exist between residential lot widths and building intensity, the table below shall be used to determine the permitted residential density of a site. The density allowed on the site shall increase with the increase in site area and site width. The table is read from left to right, within the rows. For example, a site that is 12,000 square feet in area and 120 feet in width will be allowed up to 45 dwellings per acre. If the site's area and width are in different rows, i.e., 12,000 square feet and 100 feet wide, the lower density shall apply (36 dwelling units per acre).
- (2) Exceptions:
 - (a) If the site's width is in a row that allows a higher density, as opposed to the site area, the higher density shall be allowed if the site's area is also at least 85 percent of the lowest range of the areas in the same row. Example: Site width equals 120 feet and the site area is at least 10,200 square feet (85 percent of 12,000 square feet), then 45 dwelling units per acre shall be allowed.
 - (b) If the site's area is in a row that allows the higher density, but the width limits it to a lower density, the higher density shall be allowed if the site width is at least 85 percent of the lowest range of the widths in the same row. Example: Site area equals 12,000 square feet and the site width is at least 102 feet (85 percent of 120 feet), then 45 dwelling units per acre shall be allowed.
- (3) Bonuses for residential density are allowed in addition to the density permitted below per RCDG 20C.40.100, Residential Density Bonus.

Downtown Residential Densities Chart

Districts	Minimum Site Area (Sq. Ft.)	Minimum Site Width (Ft.)	Maximum Dwelling Units Per Net Acres	Maximum 2 Allowable Lot Coverage
River Trail, Carter, East Hill	2,400 – 3,199	Less than 26	1 unit per lot	75%
	2,400 – 3,199	27 – 43	2 units per lot ¹	75%
	3,200 – 5,999	44 – 49	30 du/ac	75%
	6,000 – 11,999	50 – 119	36 du/ac	N/A
	12,000 – 17,999	120 – 179	45 du/ac	N/A
	18,000 or more	180 or more	N/A ³	N/A
Sammamish Trail, Town Square, Old Town, Anderson Park, River Bend, and Town Center	2,400 – 3,199	Less than 26	1 unit per lot	75%
	2,400 – 3,199	27 – 43	2 units per lot ¹	75%
	3,200 – 5,999	44 – 49	30 du/ac	75%
	6,000 – 11,999	50 – 119	36 du/ac	N/A
	12,000 or more	120 or more	N/A ³	N/A
Trestle, Valley View and Bear Creek	2,400 – 3,199	Less than 30	1 unit per lot	
	2,400 – 3,199	30 – 43	2 units per lot ¹	
	3,200 – 5,999	44 – 49	26 du/ac	
	6,000 or more	50 or more	N/A ⁴	

Notes:

¹ With alley access only. Otherwise one unit per lot.

² Lot coverage requirements do not apply to residential developments with ground floor commercial/retail uses, except those specified in RCDG 20C.40.40-045, Downtown Site Requirements Chart.

³ For sites meeting the size and width requirements to qualify for this footnote, density shall not be regulated by a maximum number of dwelling units per acre, but by the application of bulk, height, parking, and all other development standards. For example, developments may achieve as many dwellings as possible when the development provides all of the necessary parking, open space, etc. for the number of units proposed, and the building(s) meet all of the prescribed standards. All developments with proposed densities exceeding 66 dwelling units per acre, inclusive of density bonuses allowed per RCDG 20C.40.100, Residential Density Bonus, shall be required to have at least one level of semi-subterranean or subterranean parking or structured parking hidden behind ground floor commercial space or other pedestrian amenities along the street front. (Ord. 2051; Ord. 1901)

⁴ Developments qualifying for additional height per footnote 10 of the Downtown Districts Site Requirements Chart, RCDG Section 20C.40.40-045, shall be allowed residential density per footnote 3 above when infill/redevelopment of the site creates an urban village per RCDG 20D.40.110 (3). Otherwise the maximum allowed density is 30 dwelling units per acre.

20C.40.50 Residential Lot Coverage.

20C.40.50-010 General.

For residential developments without ground floor commercial/office uses, the maximum lot coverage permitted for principal and accessory structures shall not exceed the lot coverage standards on Table 20C.40.45-020. (Ord. 1901)

20C.40.50-020 Exemptions.

The following structures or portions of structures shall be exempted from the measurement of lot coverage:

- (1) Ramps or other access for the disabled or elderly meeting Washington State Rules and Regulations for Barrier-Free Design.
- (2) Required Pedestrian walkways/vehicular lanes per Downtown pedestrian system. The area devoted to the required pedestrian system between the building and curb line/property line shall be counted as open space.
- (3) An underground structure (below natural grade), or under ground portion of a structure, on any part of the entire lot that is landscaped on the surface. (Ord. 1901)

20C.40.55 Residential Yard Requirements.

20C.40.55-010 Purpose.

Yards shall be provided for the purpose of creating light, air, pedestrian and vehicular circulation, emergency access and general aesthetic improvements. All lots shall have one front yard and one rear yard, with the exception of through lots (lots with two fronts), which may have two front yards and no rear yard. Where a residential use is above ground floor commercial/office, the side and rear yard setbacks shall apply only to the residential use. (Ord. 1901)

20C.40.55-020 Measurement.

All yard areas shall be measured from the property lines, except as noted in the Downtown Site Requirements Chart. All yards shall be measured after dedication for required rights-of-way. (Ord. 1901)

20C.40.55-030 Permitted Structures in Required Yard Areas.

The following features are permitted within front, rear, and side yard setback areas provided that they project no closer than five feet to a property line and do not project more than five feet into the setback area. Except on Type V and Va Pedestrian Streets per RCDG 20C.40.40.105-020, projections may project over street sidewalks up to the property line provided they do not project more than five feet into the setback area. The projections may be further restricted through the site plan review process. Permitted projections include building extremities such as: balconies, patios, porches, architectural protrusions, subterranean garages and structures (below natural grade), bay windows, and chimneys (Ord. 1901)

20C.40.55-040 Front Yards.

Front yard depths shall conform to the standards specified in the Downtown Site Requirements Chart, RCDG 20C.40.40-045. (Ord. 1901)

20C.40.55-050 Side Yards.

Side yards shall be determined by structure depth and height, according to Table 20C.40.55-050. The depth of the building shall be measured at right angles, or as near to right angles as possible, from the front property line in a horizontal plane to the ground.

**Table 20C.40.55-050
 Residential Side/Interior Setbacks**

Height of Side/Interior Facade at Highest Point in Feet			
Structure Depth in Feet	0 – 30'	31 – 40'	41'+
	Minimum Side Setback in Feet ¹		
65' or less	5'	6'	7'
66' to 80'	6'	6'	8'
81' to 100'	8'	9'	11'
101' to 120'	11'	12'	14'
121' to 140'	14'	15'	17'
141' to 160'	17'	18'	20'
161' or more	19'	21'	23'

Notes: (Ord. 1901)

¹ Buildings built to property line, such as townhouses, are exempt from this requirement along that property line. See example below.



20C.40.55-060 Rear Yards.

Rear yard setbacks shall be provided for all residential uses per the Downtown Site Requirements Chart. (Ord. 1901)

20C.40.55-070 Distance Between Buildings.

- (1) Principal Buildings. Two or more detached principal use buildings on the same lot shall have a minimum separation of 15 feet.
- (2) Accessory Structures. A detached accessory structure shall be setback a minimum of five feet from any structure to which it is not attached. This restriction shall not apply to air conditioners, heaters, vents, pumps, solar collectors, or similar equipment.
- (3) Roof Eaves. Roof eaves of principal and accessory use structures shall have a minimum separation of five feet. This restriction shall not apply to patio covers and similar structures with open lattice, grill work, or uncovered roof beams. (Ord. 1901)

20C.40.60 Residential Usable Open Space.

20C.40.60-010 General.

At least 100 square feet of common usable open space shall be provided for each unit, up to a maximum area equivalent to 20 percent of the site. Units with at least 200 square feet of private open space, where the smallest dimension is no less than 10 feet, shall be exempt from common open space requirements. Front yards may not be counted as common open space, except per RCDG 20C.40.70-020(4). Private usable open space shall be provided for each unit per RCDG 20C.40.60-020 Open Space Size and Dimensions. Common and private open space shall meet the dimensional criteria below. Indoor recreational space may be substituted for common usable open space. (Ord. 2051; Ord. 1901)

20C.40.60-020 Open Space Size and Dimensions.

Table 20C.40.60-020 specifies the minimum open space size and dimensions for both common and private usable open space areas.

**Table 20C.40.60-020
Residential Usable Open Space Size and Dimensions**

Type of Usable Open Space	Minimum Length	Minimum Width	Minimum Height	Minimum Area (in sq. ft.)
1. Common	12'	12'	As specified in IBC for habitable overhead height	200
2. Private				
- Patio	8'	8'	Same as above	80
- Balcony ¹	5'	5'	Same as above	50

Notes:
(Ord. 1901)

¹ Balconies may be reduced to 12 square feet in area for up to 50% of the units when double doors are provided to the balcony.

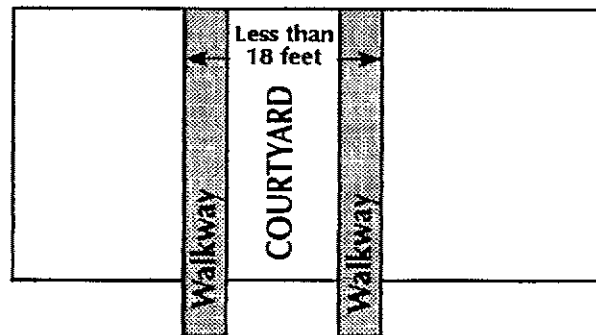
20C.40.60-030 Use of In-Lieu Fee for Downtown Open Space.

(1) **Balconies.** If the street front façade of a building is deemed to be too cluttered, monotonous, and/or over dominated by too many balconies being too close together, the number of balconies on the façade may be reduced with the approval of the Design Review Board in order to effect a more balanced and attractive façade. An in-lieu fee for each required balcony not provided shall be paid to the City for park land purchase and improvements within the Downtown neighborhood. The fee for each balcony not provided on the building shall be equivalent to 50% of the Park Impact Fee for a Multi-family residence. No less than 50% of the units shall include private open spaces.

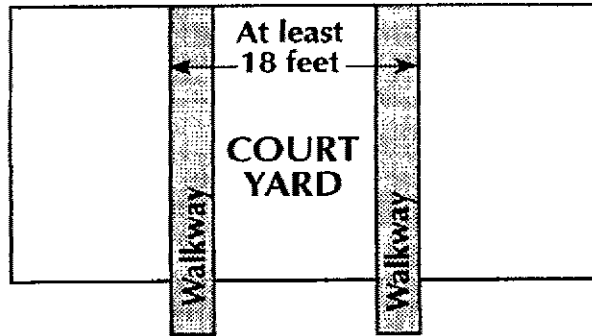
(2) **Common Open Space.** An in-lieu fee for each 100 square feet of common open space not provided shall be paid to the City for park land purchase and improvements within the Downtown neighborhood. The fee for each 100 square feet of required open space not provided on site shall be equivalent to 50% of the Park Impact Fee for a Multi-family residence. No less than 50 square feet of common open space per unit shall be provided on-site.

20C.40.60-030 Combining Usable Open Space and Pedestrian Access.

Parking areas, driveways, and pedestrian access other than pedestrian access required by Washington State Rules and Regulations for Barrier-Free Design shall not be counted as usable open space, except: If the total width of the common usable open space is 18 feet or wider, any pedestrian path or walkway traversing through the open space may be considered usable open space. See examples below.



Area of walkway not counted as open space.



Area of walkway counted as open space.

20C.40.60-040 Screening of Open Space.

Private usable open space shall be screened as specified in Table 20C.40.60-040.

**Table 20C.40.60-040
 Screening of Open Space**

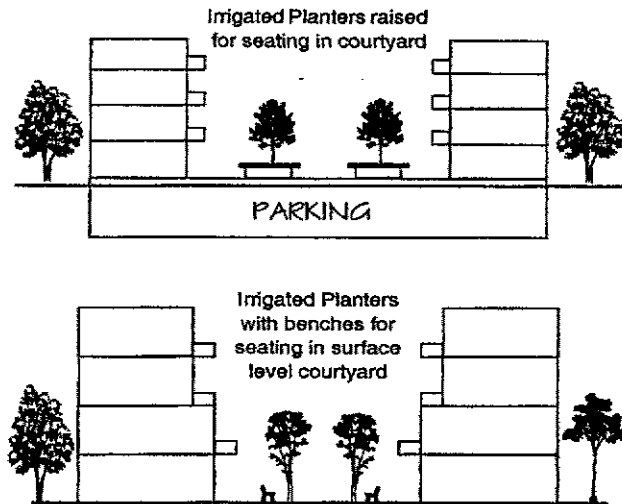
The Area from Which Open Space Must Be Screened	Screen Height
1. Common open space	4'0"
2. Corridors	4'0"
3. Streets or other public right-of-way	3'0"
4. Units on same level	4'0"
5. Units across interior side yard	4'0"

(Ord. 1901)

20C.40.60-050 On-Site Recreational Amenities.

All developments shall provide:

- (1) Irrigated planters with seating between 18 inches and 24 inches in height. See figure below.



- (2) Projects with 21 or more units shall provide at least one on-site amenity such as: a recreation room of 300 or more square feet, furnished with recreational facilities; a swimming pool; or other recreational amenities such as play ground equipment. The facilities shall be appropriate for the target housing market segment, as judged through site plan review. (Ord. 1901)

20C.40.65 Residential Privacy Standards.

20C.40.65-010 Intent.

The intent of this section is to ensure that new residential development provides adequate privacy and comfort for the tenants and their adjacent neighbors. (Ord. 1901)

20C.40.65-020 Applicability.

Privacy standards shall apply to all residential occupancy areas, as defined by the Uniform Building Code. (Ord. 1901)

20C.40.65-030 Standards.

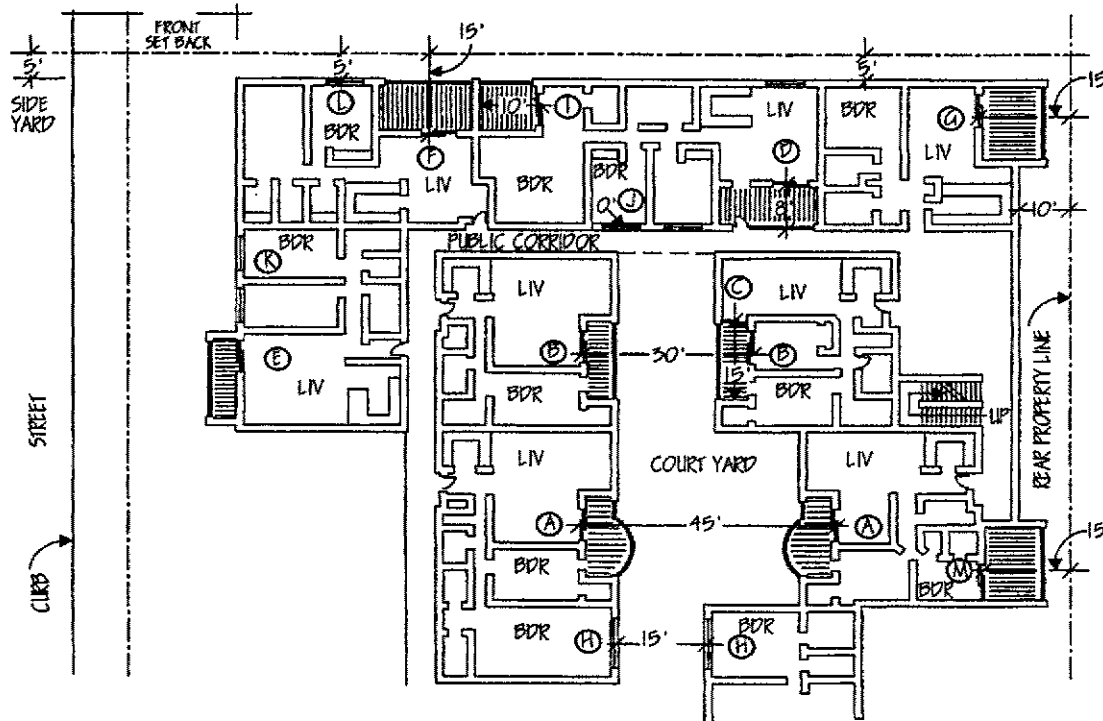
The Privacy Standards of Table 20C.40.65-030 apply to the shortest horizontal distance between the specified window and the specified property line, or to the window or wall of another unit in the same project. Each unit in a project must meet these standards in each room.

- (1) The measurements indicated in Table 20C.40.65-030 are “line-of-sight” measurements from window to window.
- (2) In the case where windows in one room are of equal size, either window may be selected by the builder as the largest window. (Ord. 1901)

Table 20C.40.65-030

Privacy Standards

	On-Site				At Property Line			
	Primary Room Largest Window	Secondary Room Largest Window	Blank Wall	Public Corridor	Front	Side	Interior Rear	Side Street
Primary Room The Largest Window (Living Room, Dining Room)	45' (A)	30' (B)	15' (C)	8' (D)	Front Yard Setback (E)	15' (F)	15' (G)	Front Street Setback
Secondary Room The Largest Window (All Other Rooms)	30' (B)	15' (H)	10' (I)	0' (J)	Front Yard Setback (K)	Side Yard Setback (L)	15' (M)	Side Street Setback
Blank Wall	15' (C)	10' (I)	5'	0'	Front Yard Setback	Side Yard Setback	Rear Yard Setback	Side Street Setback



20C.40.65-040 Public Corridors.

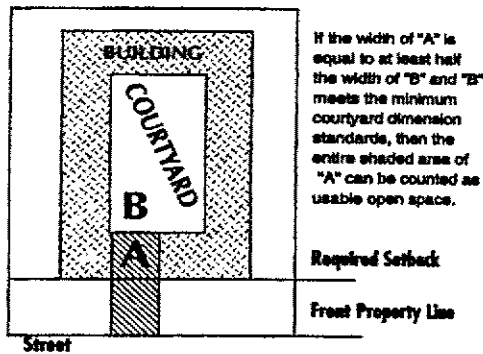
Public circulation corridors may be located within window-to-window or window-to-wall spacing distances. However, such corridors shall also have a minimum privacy spacing distance from primary and secondary windows as established in Table 20C.40.65-030. (Ord. 1901)

20C.40.70 Minimum Residential Courtyard Dimensions.

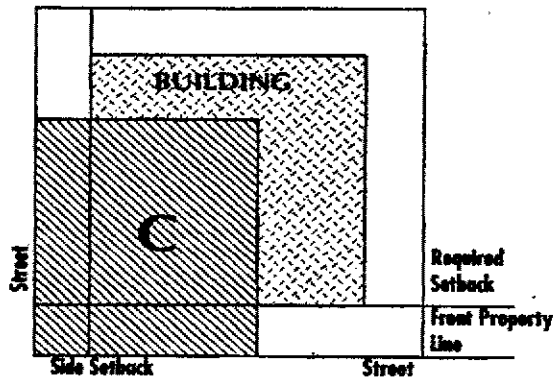
20C.40.70-010 Intent.

The courtyard provision is intended to create attractive and comfortable on-site open spaces for residents so they may enjoy outdoor living and recreational activities. Where courtyards are part of a development, courtyard designs shall conform to the standards as specified. Exceptions to the minimum dimension requirement may be granted through the site plan review process only if the Design Review Board, Technical Committee, or Code Administrator finds that the alternative design improves the overall quality of the development and meets the intent of the courtyard provision. (Ord. 1901)

EXAMPLE #1



EXAMPLE #2



When a courtyard is open to the street, the shaded area, "C", including the shaded portions of the front yard and side yard setback areas can be counted as usable open space. "C" must meet the minimum courtyard standards.

20C.40.70-020 Requirements.

Standards are as follows:

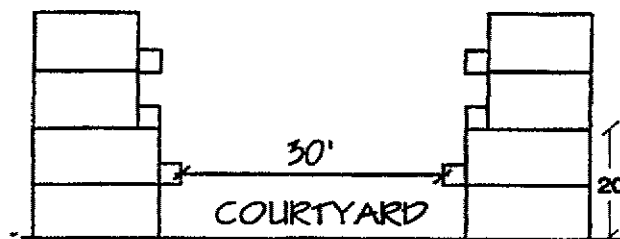
- (1) The minimum dimension (width and depth) of any courtyard shall be no less than 1.5 times the tallest building or segment of building enclosing the courtyard (a ratio of 1:1.5), but shall not be required to exceed 55 feet;

- (2) The height of the building wall shall be measured from the courtyard elevation to the roof eaves of the enclosing building(s);
- (3) The courtyard dimension is a measurement of the usable open space between two building walls, or to a property line. If balconies or corridors project into a courtyard, the dimension shall be measured from the edge of the projecting balconies and/or, corridors (see figure below):



Building Height (40') x 1.5 = 60' Courtyard*
*However maximum required width not to exceed 55'

- (4) Special incentive is provided to encourage courtyards which are visibly open to the street. If 50 percent of the courtyard width is open to the street, the area that is contiguous with the courtyard in the setback area can be counted as usable open space (see Figure 20C.40.70-020(4); and
- (5) If the enclosing walls terrace upward and back with succeeding stories, the courtyard dimension may be reduced but shall not be less than 1.5 times the height of the ceiling of the lowest enclosing floor (see figure below).



Height of lowest enclosing floor (20') x 1.5 = 30'

(Ord. 1901)

20C.40.75 Residential Access Building.

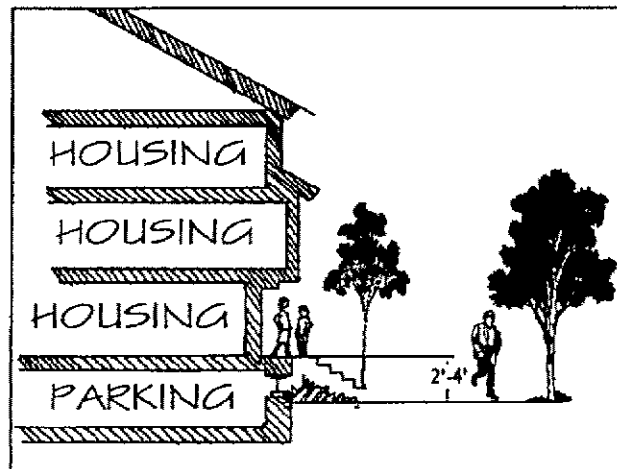
20C.40.75-010 Purpose.

In order to ensure that orientation of the primary entrance is toward the street and adds interest to the building design, the following pedestrian access requirements shall apply. (Ord. 1901)

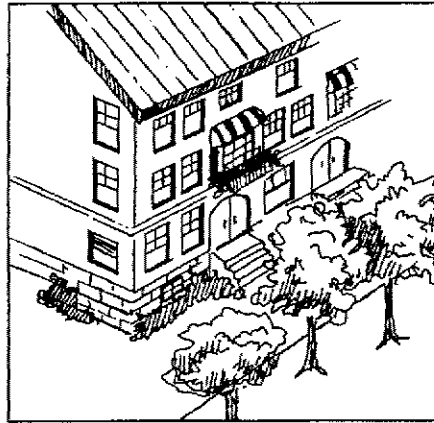
20C.40.75-020 Front Entry.

Every multi-family building shall have a covered front entry way developed in accordance with the following standards in order to provide a front entry design element:

- (1) Orientation. The primary entry shall face the front property line or front yard.
- (2) Size. The entry shall be at least eight feet wide.
- (3) Walkway. A decorative paved walkway, separated from and not crossing driveways, shall be provided between the entry and the Downtown pedestrian system.
- (4) The entry of ground floor units and ground floor foyers/lobbies along street fronts shall be between two and four feet above the grade of the adjoining pedestrian system in order to provide visual interest in the yard abutting the street. This requirement shall not apply to residential projects with ground floor commercial uses. (See figure below.)



New multi-family development shall utilize 1/2 flight up entries off of the street, giving privacy as well as a view of the street and sidewalk.



(Ord. 1901)





Where patios/private open spaces for units front the street (as opposed to front doors), walkways from the public sidewalk to the patio shall also be included to provide a “front” to the unit along the street.

20C.40.78 Ground Floor Residential Uses on Type Va Pedestrian Streets.

20C.40.78-010 Intent.

In order to ensure that dwelling units at street level are safe and comfortable for the occupants of the units while also ensuring that the exterior of the unit is attractive and pedestrian friendly for people walking on the street sidewalks, the following design requirements shall apply.

20C.40.78-020 Requirements.

Standards are as follows:

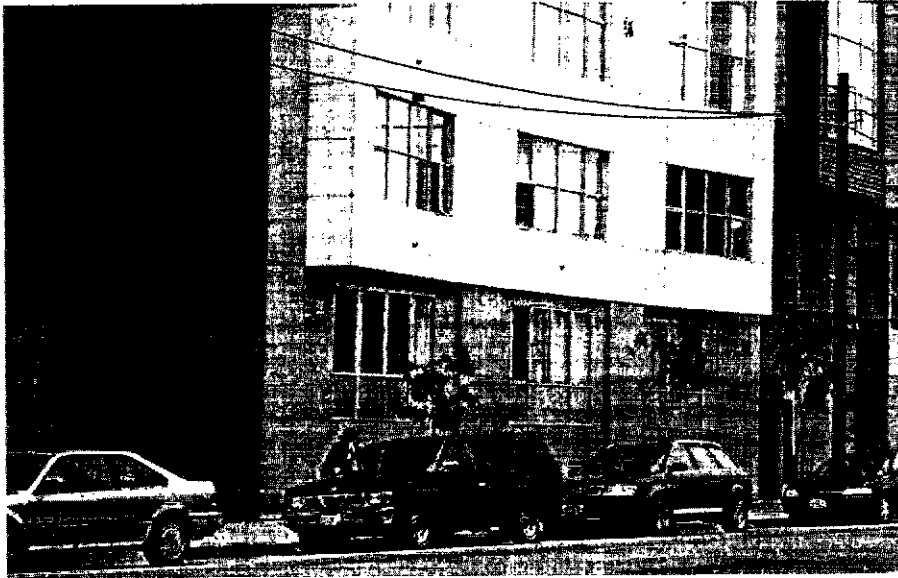
- (1) Ground floor residential units along the street shall be set back a minimum of 6 feet from, and no more than 8 feet from, the back of the required street sidewalk.
- (2) The finish floor of the ground floor unit designated for ADA accessibility may have a front door at the same grade as the street sidewalk.
- (3) Primary or secondary access shall be provided to the unit via front door at the street or walkway to patio/porch along the street. See examples below.



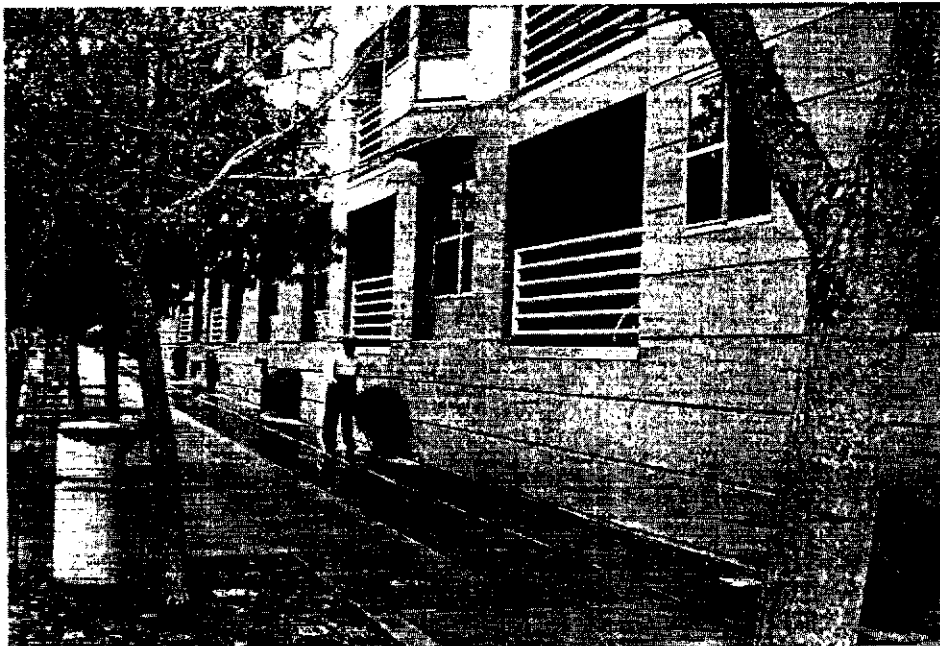
LIKE THIS



LIKE THIS



NOT LIKE THIS



NOT LIKE THIS

20C.40.80 Required Residential Facade Modulation and Exterior Building Treatment.

20C.40.80-010 Purpose.

In order to provide architectural interest and to evoke and demonstrate a look of permanence in materials and construction, all buildings should include superior exterior cladding materials such as brick, stone, wood shingle, copper, or similar materials. To achieve appropriate scale, proportion, and architectural detailing, all buildings shall provide a high level of architectural detailing around entries, windows, roof sections, building corners, blank walls, and separations between floors, and shall comply with the following standards. See also RCDG 20D.40.30, Building Design Standards and RCDG 20C.40.40-030, Administrative Design Flexibility. (Ord. 1901)

20C.40.80-020 Front and Side Street Facades.

In order to provide interest and variation appropriately scaled to the building and neighborhood, facades facing streets shall be modulated approximately every 40 feet, depending on unit separation locations, building bulk, and the scale of existing and future buildings in the neighborhood. To foster a sense of permanence and long lasting quality, facades visible from streets, parks, or other public spaces shall be clad with superior exterior cladding materials such as brick, stone, granite, limestone, cultured stone, stucco, wood or cementitious/wood shingle or lap siding, copper or similar materials on 100% of the facades, excluding windows, as accepted by the Design Review Board. When these standards are inconsistent with the standards for the Old Town District, the Old Town District standards, RCDG 20D.40.150, shall apply. (Ord. 1901)

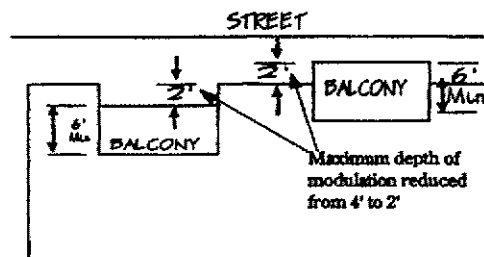
20C.40.80-030 Interior Facades.

In order to provide interest and variation appropriately scaled to the building and neighborhood, facades facing interior property lines and interior portions of the lot that are visible from the street shall be modulated approximately every 40 feet, depending on unit separation location, building bulk, and scale of existing and future buildings in the neighborhood. (Ord. 1901)

20C.40.80-040 Modulation Standards.

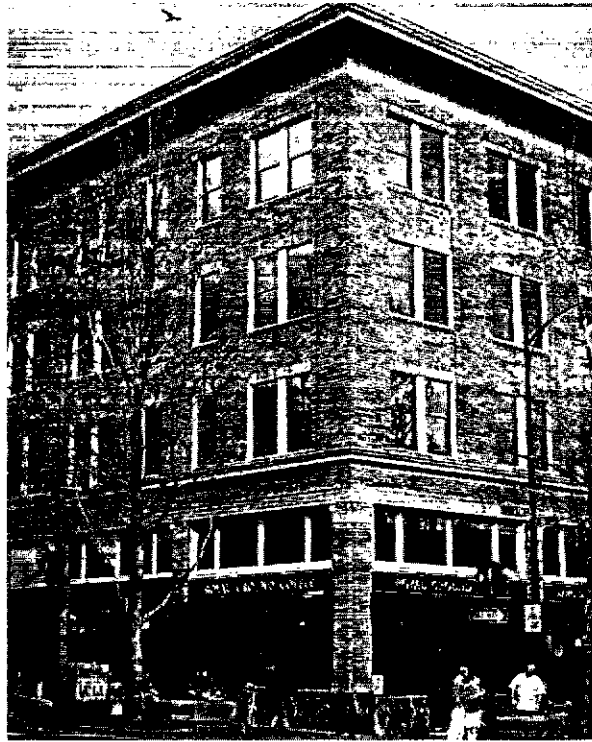
- (1) Minimum depth of modulation shall be four feet.
- (2) When balconies are part of the modulation and have a minimum depth of six feet and a minimum area of 60 feet, the minimum depth of modulation shall be two feet. See Figure 20C.40.80-030.

**Figure 20C.40.80-030
Reduction in Modulation
Depth for Balconies**



- (3) The minimum width of modulation shall be five feet.
- (4) The maximum width of modulation shall be 30 feet.
- (5) Except for the commercial portion of mixed-use buildings with ground floor commercial space, the maximum width of a building shall generally be 120 feet and the maximum depth of a building shall be 65 percent of the lot depth, or the façade shall have major breaks in the façade plane such as significant building modulation, and/or change of exterior material and roofline, to appear as separate buildings or wings.
- (6) Facades that are all brick or masonry which have a high degree of fenestration, traditional masonry detailing, and traditional window styling including recessed windows in the openings and use of multi-panes, as shown below, shall be exempt from these modulation requirements.







20C.40.85 Residential Parking and Access.

20C.40.85-010 Parking Quantity.

Parking shall be required per Chapter 20D.130 RCDG. (Ord. 1901)

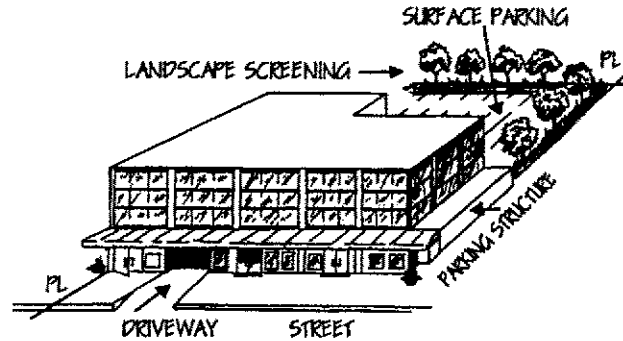
20C.40.85-020 Access to Parking.

Access to parking shall be provided via alley, where one exists or is determined by the Technical Committee through site plan review to be feasible and desirable to mitigate parking access impacts.

Driveways and drive aisles should not run along interior property lines if possible. (Ord. 1901)

20C.40.85-030 Location of Parking.

- (1) Required parking may be provided off-site within 600 feet of the site when secured by an easement.
- (2) At grade parking is prohibited within required yard areas, except developments with ground floor commercial uses and enclosed parking garages adjoining non-residential districts should maintain a zero foot side yard setback in the front one-half of the lot. Open parking shall provide the minimum perimeter planting required in RCDG 20D.80.10, Landscaping and Natural Screening. (See figure below.)



- (3) Semi-subterranean parking may be located within five feet of interior property lines when screened with Type II landscape buffers at the perimeter. The base of the parking level visible at any pedestrian walkway shall be finished concrete, painted, or clad in masonry.
- (4) Subterranean parking (below natural grade) may be located up to interior property lines when sufficient soil depth (three feet) is provided atop the garage for landscaping in required yard areas. (Ord. 1901)
- (5) At grade and semi-subterranean parking garages along an alley may project up to the property line in accordance with building codes. Alley widening may be required if the alley is substandard in width. For parking stalls and garage openings taking direct access from the alley, proper aisle and stall width dimensions shall be provided per RCDG Table 20D.130.10-030 Design Requirements for Parking Facilities.
- (5) For garage access from public streets, garage doors shall be setback a minimum of 20 feet from the curb face.
- (6) Garage openings visible from streets shall include decorative architectural screening/artwork to soften the appearance of the garage façade.

20C.40.90 Residential Screening.

20C.40.90-010 Mechanical Equipment.

All mechanical equipment, including air conditioners, heaters, vents and similar equipment, rooftop and ground-mounted, shall be fully screened from public view both at grade and from higher buildings.

- (1) The screening materials shall be of material requiring minimal maintenance.
- (2) For ground-mounted equipment, landscaping may be used if a solid screen is provided at time of planting.
- (3) For rooftop equipment all screening devices shall be well integrated into the architectural design through such elements as parapet walls, false roofs, or equipment rooms. Wood

generally shall not be used. Louvered designs are acceptable if consistent with building design style. (Ord. 1901)

20C.40.90-020 Utility Meters.

All utility meters shall be fully screened from view from a public right-of-way. If enclosed in cabinets visible from public rights-of-way, exterior surfaces shall be finished with material compatible and complementary to the architecture of the building. (Ord. 1901)

20C.40.90-030 Parking.

Parking shall be screened from direct street view by the front facade of a structure, garage doors, fence, or wall between five and six feet in height. When a fence or wall provides screening along a street, there shall also be a Type I or II landscape buffer in the yard abutting the street, depending on light and glare from within the parking area. (Ord. 1901)

20C.40.90-040 Trash Receptacles.

All garbage receptacles and recycling bins not located within parking garages shall be enclosed by a freestanding enclosure that is architecturally compatible with the building. (Ord. 1901)

20C.40.95 Residential Landscaping.

20C.40.95-010 Requirements.

All required yards and common usable open space areas shall be attractively landscaped. Additional landscaping requirements shall apply as follows:

- (1) General. The requirements specified in RCDG 20D.80.10, Landscaping and Natural Screening, and RCDG 20D.40.35, Landscaping Design Standards, shall apply.
- (2) All new development shall provide the following landscaping quantities in addition to the general requirements. Additional material may be required through Site Plan Entitlement.
 - (a) One tree for each 125 square feet of required yard area, including front yards, side yards, rear yards, and common usable open space; and
 - (b) Three shrubs of not less than five-gallon size shall be provided for each tree planted. (Ord. 1901)

20C.40.100 Residential Density Bonus.

Density bonuses shall be granted to residential developments as set forth in this division. (Ord. 1901)

20C.40.100-010 Semi- and Full-Subterranean Parking.

In freestanding residential developments, a density bonus of 10 percent shall be granted to developments that provide semi- or full-subterranean parking where the finished floor height of the first floor is not more than four feet above the street curb. (Ord. 1901)

20C.40.100-020 Affordable Housing.

Density bonuses shall be granted per RCDG 20D.30.10, Affordable Housing. (Ord. 1901)

20C.40.100-030 Senior Housing.

Density bonuses shall be granted per RCDG 20D.30.15, Affordable Senior Housing Bonus. (Ord. 1901)

20C.40.105 Downtown Pedestrian System.

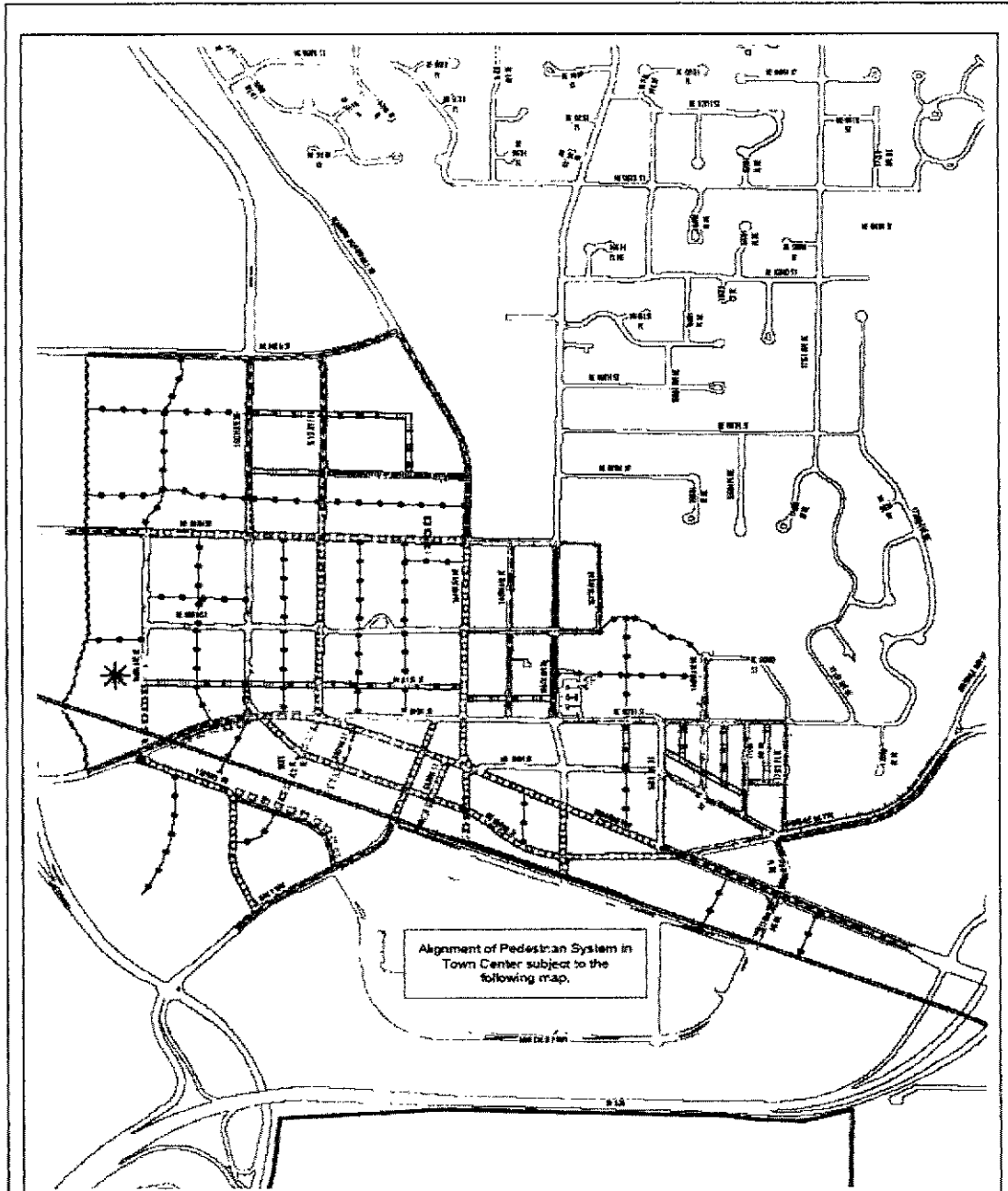
20C.40.105-010 Purpose.

The Downtown Pedestrian System is a network of pedestrian walkways, vehicular lanes, and small greenbelts. It is established to provide safe pedestrian routes removed from traffic, enhance the appearance of buildings and their settings, provide a unified design element to offset varying architectural styles, and to soften the appearance of parking lots and service storage areas. Planting is intended to provide street trees and other vegetation appropriate for an urban setting.

Where landscaping is required, massing and aggregating of plantings to achieve a strong, positive statement is encouraged. Use of seasonal color and ease of maintenance are plant characteristics that should also be considered. (Ord. 1901)

20C.40.105-020 Installation of Pedestrian System.

The various components of the pedestrian system shall be provided as noted on the map entitled, "Downtown Pedestrian System" which is incorporated as a part of this section. As property is developed or redeveloped, corresponding portions of the system shall be installed or otherwise provided for by the property owner/developer. The mid-block segments shown on the map represent desired connections between blocks. In order to provide flexibility, the actual alignment shall be determined through the Site Plan Entitlement process. (Ord. 1901)



Legend

- Type I
- Type II
- Type III
- Type IV
- Type V
- Type Va
- Type Vb
- Type VI
- Type VII
- Type VIII
- BNOP Railroads

Type I: A 35-foot landscaped walkway with 13-foot barrier strip for trees, 6-foot sidewalk and 14-foot of planting/plaza area.

Type II: A 20-foot landscaped walkway which includes an 8-foot sidewalk and 12-foot of planting area.

Type III: A 20-foot landscaped walkway with an 8-foot pathway for street trees, 6-foot sidewalk, and 6-foot of landscaping area.

Type IV: A 25-foot landscaped walkway with a 5-foot pathway for street trees, 8-foot sidewalk, and 12-foot of landscaped yard area.

Type V: A 14-foot sidewalk with bollards up to the sidewalk edge.

Type Va: A 14-foot sidewalk with bollards up to sidewalk edge. Residential users may be allowed on street front ground floor of Type V-A Pedestrian Streets per RCODS 20C.40.105-020, Downtown Permitted Land Use Table.

Type VI: A 20-foot wide curbstone walkway/variable lane.

Type VII: A 12-foot sidewalk from the Barramien River Trail to and along the building front.

Type VIII: A 20-foot wide mid-block pathway with an 8-foot sidewalk in the middle and 11-foot of landscaping/plaza on each side.

Note: All Pedestrian System Improvements are required on both sides of a street. This is indicated by a single symbol on a street. Where two symbols parallel each other, different standards apply as shown.

Note: On Lot 4 of the Redmond Center Plat, bollards need not be installed up to the sidewalk edge of the Type V Pedestrian System that is to install 25.0% street edge.

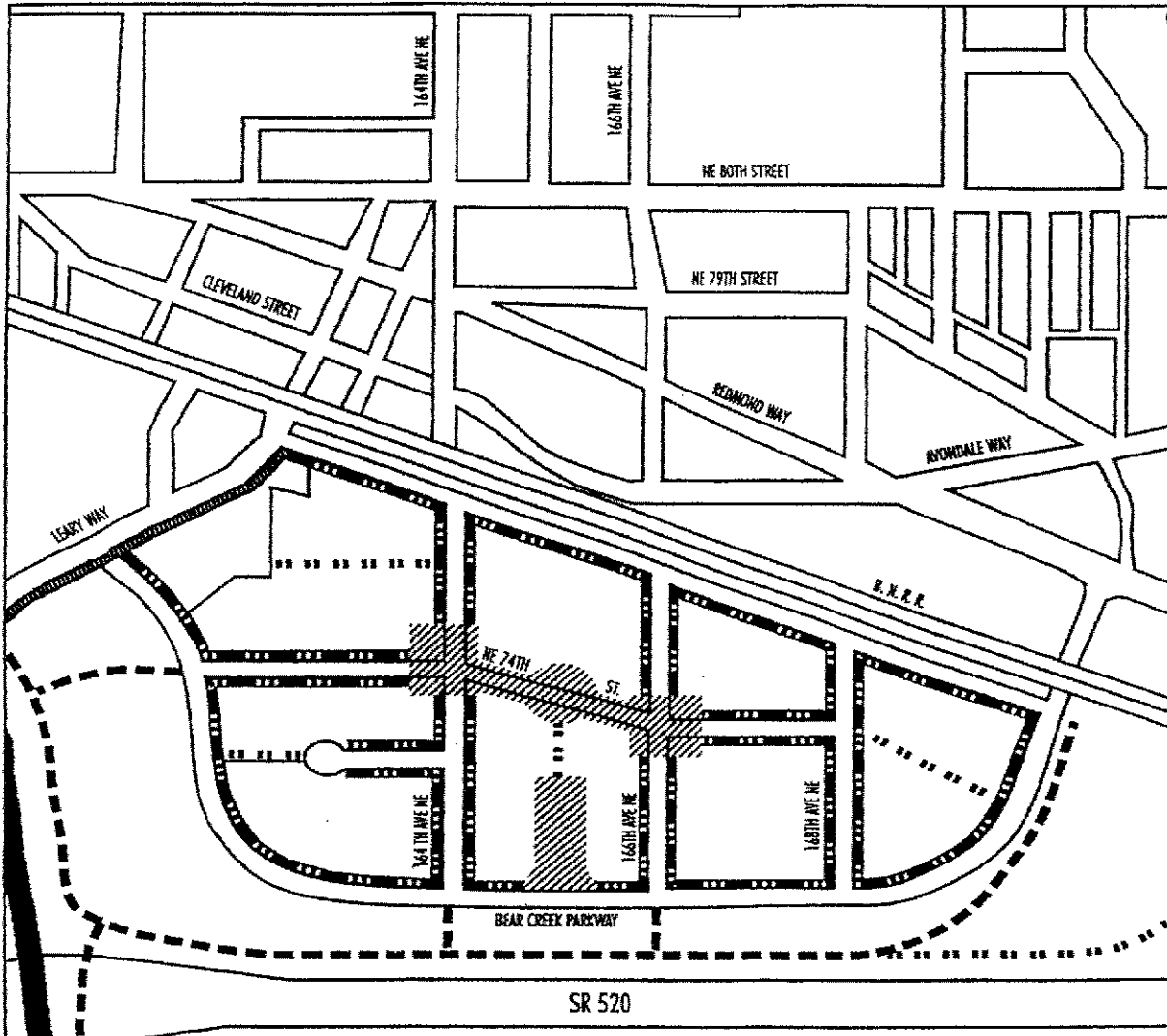
**DOWNTOWN
 Pedestrian System
 20C.40.105-020**


effective: September 12, 2006
 contact: City of Redmond Planning
 questions: Planning GIS




Redmond












**Town Center
Pedestrian System
20C.40.105-020**

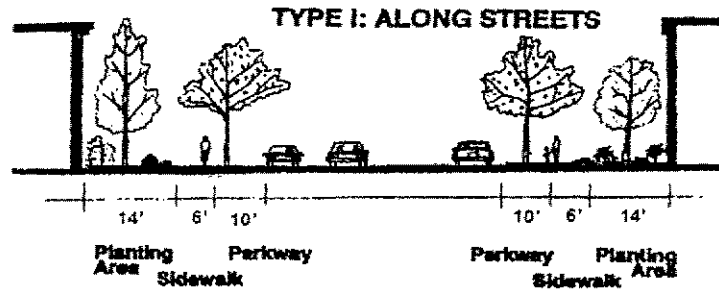


Legend

<p> Type I Walkway per 20C.40.105-020</p> <p> 13-foot sidewalk with street trees when building faces street; 20-foot linkage when parking lot faces street. Such linkage will include a 10-foot sidewalk and a 10-foot parkway planter. An 18-foot linkage, including a 5-foot sidewalk, is required along the north side of Bear Creek Parkway where adjacent to the open space. Sidewalk widths may increase at street intersections due to curb projections, and will be located to improve pedestrian access.</p>	<p> Plaza: Sidewalk standards may be increased at plaza areas to reflect increased pedestrian activity, subject to Site Plan Revisions.</p> <p> Trail: 10-foot paved trail.</p> <p> Recommended Linkage.</p>
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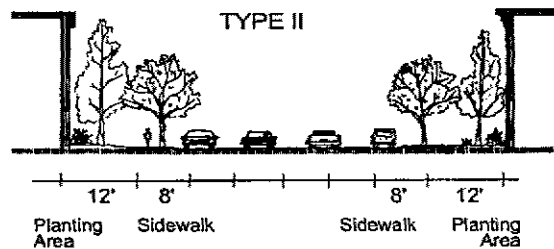
20C.40.105-030 Pedestrian System Description.

- (1) Type I – A 30-foot landscaped walkway which includes a 10-foot parkway planter for street trees, a 6-foot sidewalk, and 14 feet of planting/plaza area.

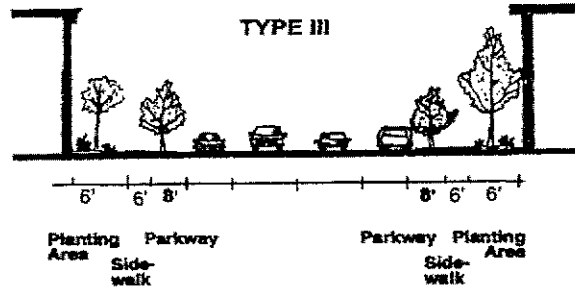


- (2) Type II – A 20-foot landscaped walkway which includes an 8-foot sidewalk, 12 feet of planting, and street trees in tree wells along the street.

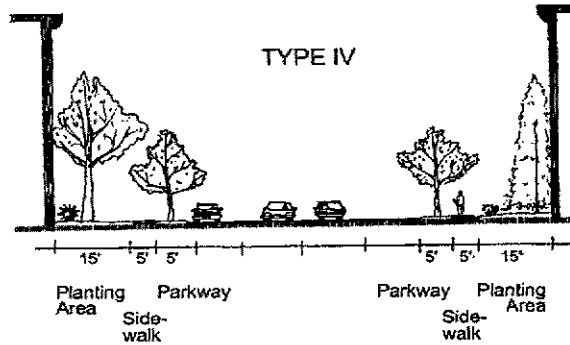
Type II is used on a few collector streets. Average width is 20 feet with a minimum width of 10 feet. The sidewalk shall be no less than 8 feet wide.



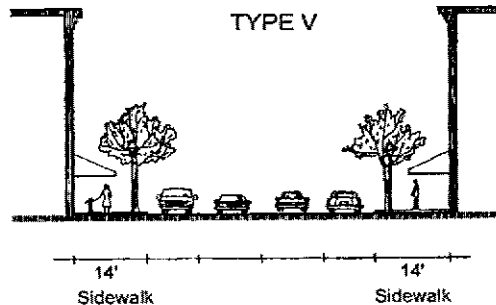
- (3) Type III – A 20-foot landscaped walkway with an 8-foot parkway planter for street trees, a 6-foot sidewalk, and 6-foot planting/plaza area for site landscaping.



- (4) Type IV – A 25-foot landscaped walkway with a five-foot parkway for street trees, a five-foot sidewalk, and 15 feet of landscaped yard area. Type IV is most typically used in residential areas.

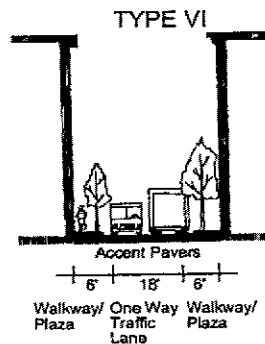
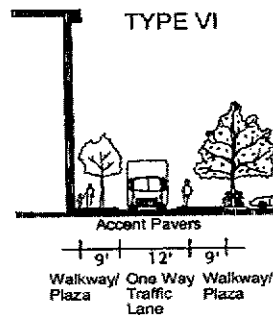


- (5) Type V and Va – A 14-foot sidewalk with the first floor of buildings up to the edge of the sidewalk, and street trees in tree wells next to the street. Sidewalks may be wider than 14 feet. The minimum unobstructed pedestrian travel way shall be no less than 10 feet wide.



*Except Gilman Street which shall become a brick lined pedestrian/vehicular plaza, and Brown Street which includes an 8.5-foot wide sidewalk.

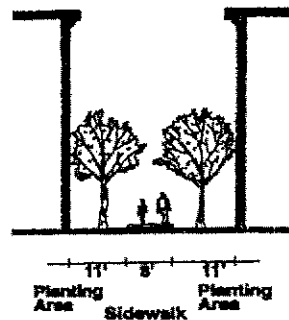
- (6) Type VI – A 30-foot wide combination walkway/vehicular lane which incorporates landscaping, decorative lighting, and seating areas. If the lane does not have a separated raised walkway six feet in width, the surface must be paved with unit pavers to denote that it is a pedestrian area. The width of the lane shall provide for a minimum of one lane of vehicular travel (one way) and one parking lane. Most used to reduce the size of large blocks, provide vehicular access to rear of lots, minimize need for curb cuts on street fronts, and provide mid-block connections for pedestrians. Type VI may be substituted for Type VIII mid-block pathway if the Technical Committee finds that a vehicular lane is not necessary to provide for the completion of an already started segment or circulation system.



- (7) Type VII – A 10-foot-wide sidewalk from the Sammamish River Trail to and around buildings fronting the river. (Ord. 1901)
- (8) Type VIII - A 30 foot wide, mid-block pathway that includes an eight-foot-wide sidewalk and 11 feet of landscaping on both sides. Where a mid-block connection is desired through the interior of a property, the landscaping buffer may be omitted or reduced through the Site Plan Entitlement process, provided that the walkway be a minimum of 12 feet in width and be safe and appealing for pedestrian use. Where store fronts open directly onto these pathways, unit

pavers or decorative pavement finishes are encouraged, as well as landscaping in planters and tree wells. Mid-block sections may pass through buildings when providing access to pedestrian-oriented uses within a ground floor arcade. On large development sites, these mid-block pathways are desired to be spaced no greater than 500 feet away from a parallel street. Type VIII may be substituted by Type VI segments where found appropriate by the Technical Committee. In this case, walkways separated from the 20-foot drive lane may be required at the edges of the drive lane.

TYPE VIII: MID-BLOCK LINKAGE



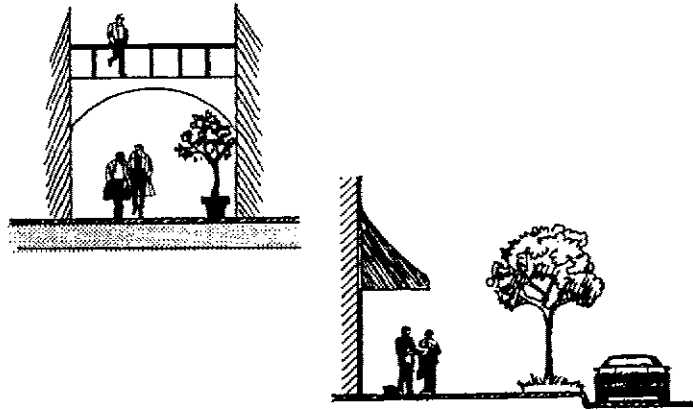
20C.40.105-040 Easements/Dedications.

Where a pedestrian system walkway exists or is required outside of a public right-of-way, an easement or the dedication to the City of Redmond may be required to provide continuity of the walkway to adjoining property. In case of dedication, residential density shall be calculated based on pre-dedication lot area. (Ord. 1901)

20C.40.105-050 Permitted Encroachments.

Encroachments into pedestrian systems are permitted as follows:

Upper floors of buildings, marquees, potted plants, awnings, blade signs, and roof projections may extend over the pedestrian system when they enhance pedestrian activities and when the encroachment is integrated into the pedestrian system by providing a covered walkway, plaza, or it otherwise complements pedestrian activities.



Buildings, marquees and roof projections may extend over pedestrian systems when they enhance pedestrian activities.

20C.40.105-060 Width Measured from Back of Curb.

Where a pedestrian system adjoins a public street, the system's width shall be measured from the back of the existing or proposed curb. (Ord. 1901)

20C.40.105-070 Construction Standards.

Construction standards for sidewalks are identified in Appendix 20C-1, Downtown Pedestrian System Construction Specifications. (Ord. 1901)

20C.40.105-080 Driveway Crossings.

Driveways crossing the pedestrian system should be minimized and joint use of driveways encouraged to separate vehicles and pedestrians. Areas in driveways will not be calculated as part of the area required to be landscaped in the pedestrian system. (Ord. 1901)

20C.40.105-090 Access to Buildings.

Pedestrian access from primary building to pedestrian system should not be interrupted by vehicular circulation, parking, or other elements which discourage pedestrian use. (Ord. 1901)

20C.40.105-100 Interior Block Pedestrian System.

Interruptions of mid-block pedestrian systems by vehicular circulation or parking shall typically not be permitted. (Ord. 1901)

20C.40.105-110 Variations Exceeding Standards.

Variations in the pedestrian system which exceed the standards may be approved by the Technical Committee. The variation, in the judgment of the Technical Committee, must not create a pedestrian system out of character and harmony with the surrounding pedestrian systems. (Ord. 1901)

20C.40.105-120 Variations Not Meeting Standards.

Variations in the pedestrian system which do not meet minimum standards may be approved by the Technical Committee. Variations may be allowed after consideration of factors, including, but not limited to:

- (1) Existing right-of-way available to meet standards;
- (2) Existing buildings encroaching in linkage area;
- (3) Pedestrian and vehicular volumes anticipated;
- (4) Existing vegetation;
- (5) Disruption of system continuity;
- (6) Accessibility to buildings.

(Ord. 1901)

20C.40.110 Downtown Street Tree Plan.

20C.40.110-010 General.

Street trees within the Downtown Neighborhood shall be provided as noted on the map entitled “Downtown Street Tree Plan” which is on file in the office of the Planning Department. As property is developed or redeveloped, trees shall be installed or otherwise provided for by the property owner/developer. For streets which do not list tree types or spacing requirements, refer to City of Redmond Street Tree Plan. (Ord. 1901)

20C.40.110-020 Requirements.

- (1) Location. Trees shall be spaced on average as noted on the Downtown Street Tree Plan. Trees shall be planted in parkways where they exist or are required per RCDG 20C.40.105. Where sidewalks are required to be contiguous with street curbs, trees shall be planted in irrigated tree wells, with City approved root barriers, next to the street. Street trees may be grouped in larger planters near the curb, if found more appropriate through Site Plan Entitlement. Street trees disallowed due to inadequate parkway width, street furniture, driveways, or utilities shall be planted in the abutting yard area.
- (2) Street trees shall be planted according to guidelines outlined in Chapter RCDG 20D.80, Landscaping and Tree Protection. (Ord. 1901)

20C.40.115 Downtown Design Guidelines.

Cross Reference: See RCDG 20D.40, Design Standards

N:\ordinance 2302\ord2302_Exhibit A